

**RESIDENTIAL RENOVATION -
CONVERSION FROM TWO FAMILY TO THREE FAMILY
137 SUMMER ST, SOMERVILLE, MA 02143
SPECIAL PERMIT SET**

ZONING ANALYSIS 137 SUMMER STREET SOMERVILLE, MA 02143 ZONING DISTRICT: Resident District ZONING SUB-DISTRICT: RB ARTICLE 8 - DIMENSIONAL REGULATIONS				
ZONING ITEM	REQUIRED	EXISTING	PROPOSED	RELIEF REQUIRED
MIN. LOT SIZE	7,600 SF	6,772 SF	NO CHANGE	EXISTING NON-CONFORMING
MIN. LOT AREA / DWELLING UNIT	1,600 SF (1-9 UNITS)	3,000 SF (2 UNITS)	4,600 SF (3 UNITS)	NO
MAX. GROUND COVERAGE	60%	37.4 %	39.1%	NO
MIN. LANDSCAPE AREA	25%	39.1%	30.2%	NO
FLOOR-AREA RATIO	1.0 ⁽²⁾	0.470	0.693	NO
MAX. BUILDING HEIGHT (STORIES)	3	2.6	3	NO
MAX. BUILDING HEIGHT (FEET)	40 FEET	28 FEET	34.5 FEET	NO
MIN. FRONT YARD	15 FEET	30.34 FEET	NO CHANGE	NO
MIN. SIDE YARD (133 Summer St. Side)	8 - 10 FEET ⁽³⁾	9.6 FEET	NO CHANGE	EXISTING NON-CONFORMING
MIN. SIDE YARD (133 Summer St. side)	8 - 10 FEET ⁽³⁾	8.69 FEET	NO CHANGE	NO
MIN. REAR YARD	20 FEET	16.6 FEET	NO CHANGE	EXISTING NON-CONFORMING
MIN. FRONTAGE	50 FEET	60 FEET	NO CHANGE	NO
MIN. PERVIOUS AREA	35%	39.1%	39.4%	NO
OFF STREET PARKING SPACES PER TABLE E	1.6 PER UNIT	2	3	YES
NOTES: 2. Floor area ratio: See definition in Article 2 for floor area, floor area ratio, and Article 4 Section 4.4.1, which further limits floor area ratio requirements. 3. Side Yard Setback is 8 feet for 2 - 2 1/2 Stories; 10 feet for 3 Stories				
See sheets A0.01, A0.02, and A0.03 for Dimensional Regulation calculations.				

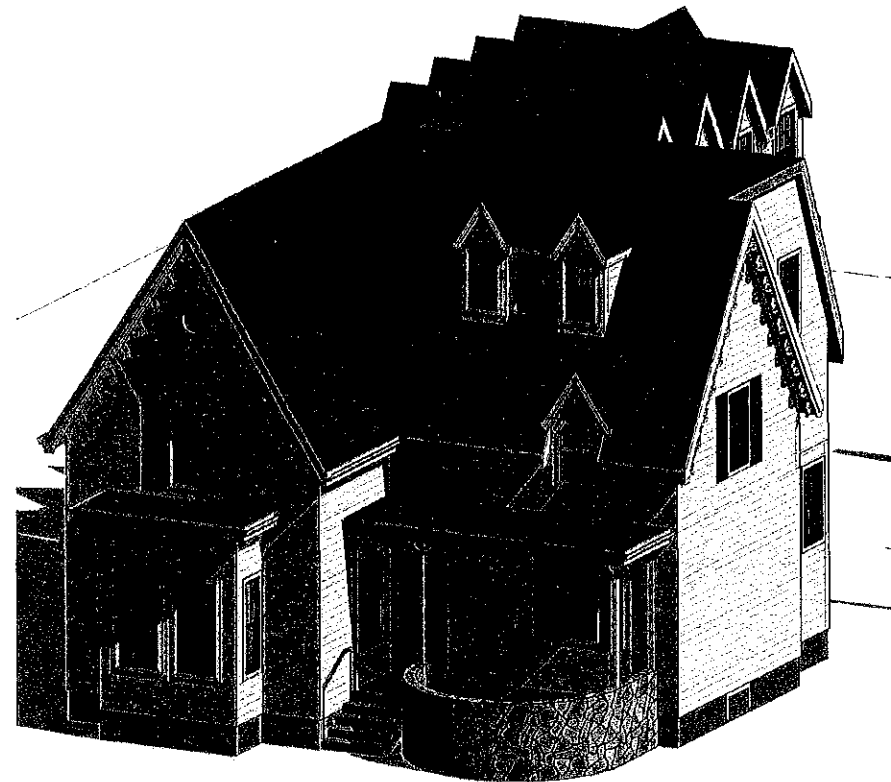
SHEET LIST	
Sheet Number	Sheet Name
—CS—	COVER SHEET
-A0.00	Plot Plan
-A0.01	GROSS AREA PLANS
-A0.02	NET AREA PLANS
-A0.03	SITE PLAN / CALCULATIONS
-A0.04	EXISTING PLANS AND ELEVATIONS
-A0.05	SUMMER SOLSTICE SHADOW STUDIES
A1.01	PROPOSED FLOOR PLANS
A1.02	PROPOSED FLOOR PLANS
A1.03	PROPOSED FLOOR PLANS
A2.01	PROPOSED ELEVATIONS
A2.02	PROPOSED ELEVATIONS
A3.01	BUILDING SECTIONS
A4.01	EXTERIOR AXON VIEWS

GENERAL NOTES

Project: Multi-Family Renovation
Property: 137 Summer St. Somerville, MA 02143
Owner / Builder: Thad Seymour
Surveyor: -
Architect: Stefanov Architects, 423 West Broadway, Ste.404, South Boston, MA 02127

Governing Code: 780 CMR, Ninth Edition 2015 IBC with MA Amendments.
Construction Type: Wood Frame, V-A
Occupancy Use Group: Multi-Family - R2

1. Bidders shall be a General Contractor licensed to practice in the Commonwealth of Massachusetts. All subcontractors shall be similarly licensed, in their respective trades.
2. All work shall conform to state and local codes and the requirements of the local authorities having jurisdiction.
3. The Contractor(s) shall obtain and pay for all fees, taxes, and permits as required by the scope of work outlined in the construction documents.
4. General Contractor shall maintain General Liability and Workman's Compensation Insurance during performance of the Work; and shall indemnify and hold harmless the Owner and Designer from all claims arising out of performance of same. The Owner shall carry property insurance covering all completed work and stored materials against fire, theft and storm damage and shall have glass breakage insurance for all installed glass units (or self insurance).
5. All work shall be performed in a workmanlike manner, by qualified mechanics specializing in the trades required. All materials and equipment employed shall comply with and be installed according to manufacturer's recommendations. All work shall be installed plumb, level and true.
6. The Contractor shall erect and maintain safeguards for the protection of the general public as required by the course of the work including: danger signs, lights, physical barriers, the covering of open excavations, etc.
7. All modifications requiring additional technical information shall be presented to the Owner and Architect before proceeding.
8. All claims for additional costs and Change Orders shall be submitted in a timely fashion, and in writing. The Owner's approval shall be obtained in writing, prior to proceeding with said work.
9. The Contractor shall remedy defects in the workmanship for a period of one year from Final Payment; and shall pass through to the Owner(s) all warranties on materials and equipment incorporated in the Work, as issued by their suppliers and manufacturers.
10. Complete scope of work shall include but not be limited to: temporary equipment and power, hoisting, scaffolding, toilets, debris removal, etc.
11. The Owner shall furnish electricity and water required during the construction period at no cost to the Contractor.
12. Parking, material and equipment staging, and access to the site shall be directed per Owner approval only.
13. Contractor shall be responsible for all required demolition and debris removal. Remove and dispose of all debris legally off site. Cutting and patching of mechanical and electrical items shall be performed only by qualified mechanics of each respective trade.
14. Each Subcontractor shall be bound by the above conditions, to the General Contractor; and thereby in kind to the Owner.



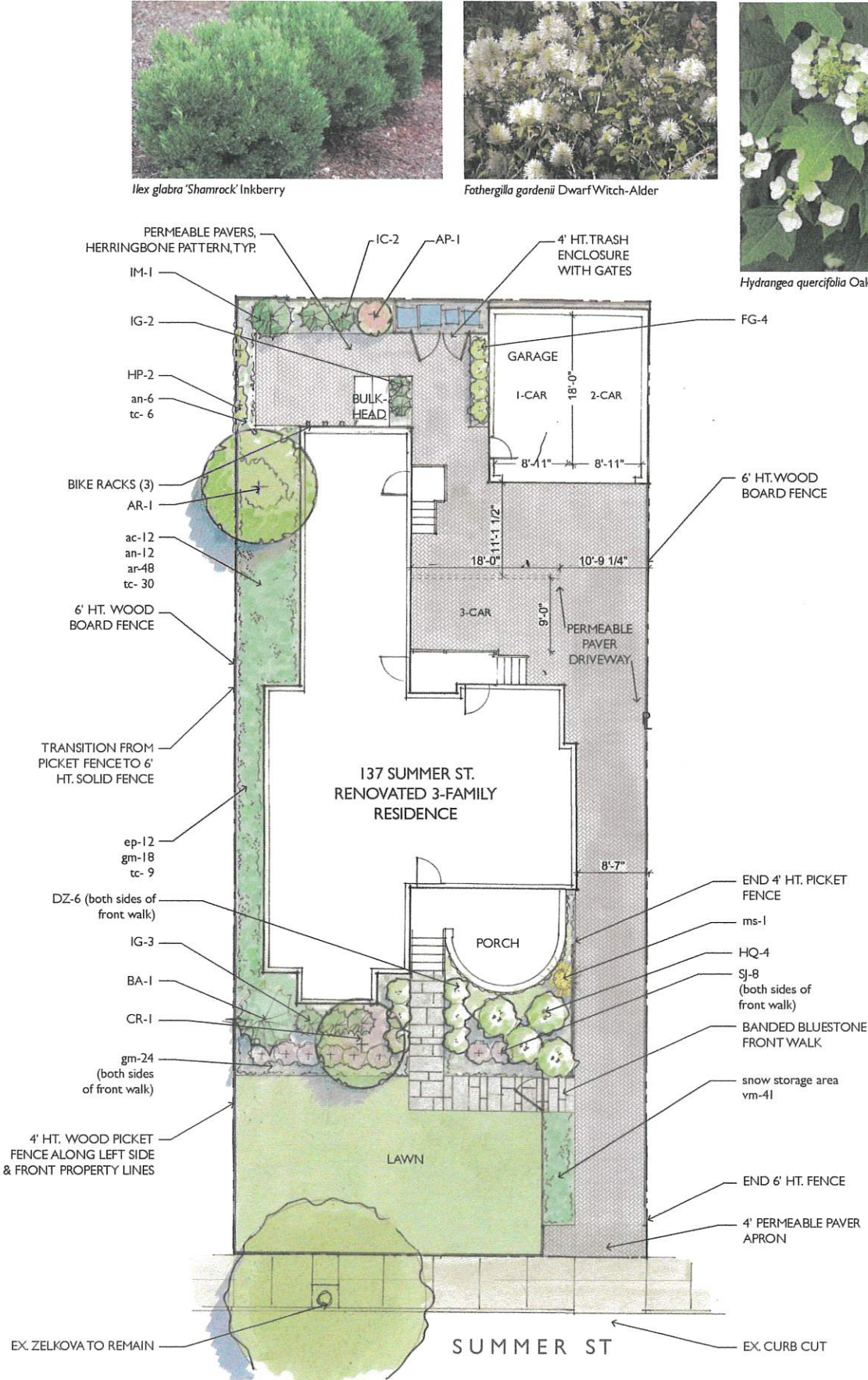
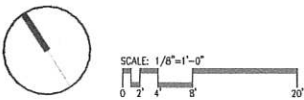
ABBREVIATIONS

@	AT
ACT	ACOUSTIC CEILING TILE
ALUM.	ALUMINUM
BD.	BOARD
BLDG.	BUILDING
BLK'G.	BLOCKING
C.I.	CAST IRON
CLG.	CEILING
CONT.	CONTINUOUS
COORD.	COORDINATE
EXIST.	EXISTING
EXP.	EXPANSION
EXT.	EXTERIOR
FLASH'G.	FLASHING
FRP	FIBERGLASS REINFORCED POLYMER
G.C.	GENERAL CONTRACTOR
GALV.	GALVANIZED
GYP.	GYP-SUM
INT.	INTERIOR
HORIZ.	JOINT
MANUF.	MANUFACTURER
MIN.	MINIMUM
MAX.	MAXIMUM
M.O.	MASONRY OPENING
O.C.	ON CENTER
P.T.	PRESSURE-PRESERVATIVE TREATED
MAX.	PAINTED
PWD.	PLYWOOD
R.D.	ROOF DRAIN
REQ.	REQUIRED
REQ'D	REQUIRED
R.C.P.	REFLECTED CEILING PLAN
R.O.	ROUGH OPENING
STL.	STEEL
T.O.	TOP OF
TYP.	TYPICAL
V.B.	VAPOR BARRIER
V.P.	VAPOR PERMEABLE
VERT.	VERTICAL
VIF	VERIFY IN THE FIELD
WD.	WOOD
W/	WITH

[illegible]

PROPOSED PLANT LIST					
Trees:					
1	AP	Acer palmatum var. dissectum 'Crimson Queen' Japanese Maple	24" ht.	b&b	
1	AR	Acer rubrum 'Armstrong'	2" cal.	b&b	
1	BA	Cedrus atlantica 'Glauca Fastigiata'	6-7' ht.	b&b	
1	CR	Cornus 'Rutgan' Stellar Pink	1.5-2" cal.	b&b	
Shrubs & Vines:					
6	DZ	Deutzia gracilis 'Duncan'	3 gal.	Pots	
4	FG	Fothergilla gardenii	3 gal.	Pots	
2	HP	Hydrangea anomala petiolaris	3 gal.	Pots	
4	HQ	Hydrangea quercifolia	5 gal.	Pots	
2	IC	Ilex crenata 'Convexa'	5 gal.	Pots	
5	IG	Ilex glabra	5 gal.	Pots	
1	IM	Ilex x meserveae 'Blue Princess'	36" ht.	Pots	
8	SJ	Spiraea japonica 'Little Princess'	3 gal.	Pots	
Perennials:					
12	ac	Asarum canadense	1 gal.	Pots, 18" O.C.	
18	an	Athyrium niponicum 'Pictum'	2 gal.	Pots, 24" o.c.	
48	ar	Ajuga reptans 'Burgundy Glow'	4" pots	Pots, 18" O.C.	
12	ep	Echinacea purpurea	2 gal.	Pots, 24" o.c.	
42	gm	Geranium maculatum	1 gal.	Pots, 18" o.c.	
1	ms	Miscanthus sinensis 'Morning Light'	3 gal.	Pots	
36	tc	Tiarella cordifolia 'Running Tapestry'	2 gal.	Pots, 18" O.C.	
41	vm	Vinca minor	4" pots	Pots, 15" O.C.	

- PLANTING NOTES
- All plant material shall be approved by the Landscape Architect prior to arrival on the site.
 - All plant material shall conform to the guidelines established by "The American Standard for Nursery Stock", published by the American Association of Nurserymen, Inc.
 - No substitution of plant species will be allowed without the approval of the Landscape Architect.
 - The Contractor shall locate and verify all utility line locations prior to staking and report any conflicts to the Landscape Architect.
 - All plants shall be staked out in their approximate location by the Contractor. The Contractor shall adjust the locations of these stakes as required by the Landscape Architect to account for subsurface utilities, other field conditions and to achieve design intent. Final locations must be approved by the Landscape Architect prior to planting.
 - No planting shall be installed before acceptance of rough grading of topsoil.
 - The rootballs of trees shall be planted 3" above adjacent finished grade. Excavate holes no deeper than the rootball of trees. Holes shall be at least 3' greater in diameter than root ball. Backfill planting hole with 'planting mix'. All plants which settle out of plumb or below finished grade shall be immediately replanted.
 - The rootballs of shrubs shall be planted 2" above adjacent finished grade. Excavate holes no deeper than the rootball of shrubs.
 - All shrubs, groundcovers and perennials shall be planted in continuous planting beds. All beds shall be excavated 12" and the topsoil and subsoil set aside for reuse. Remove all stone and debris from excavated soil. Backfill beds with 12" of 'planting mix' before planting shrubs, perennials and groundcovers.
 - 'Planting Mix' shall consist of 2 parts of topsoil saved from site excavations and 1 part compost. Thoroughly mix to create uniform blended mixture. If insufficient topsoil is available on the site, mix existing soil in a ratio of 1 part soil to 1 part compost. Remove all stones and debris larger than 2" from planting mix.
 - All beds as shown on the drawings shall be edged with a 4" trench neatly cut and backfilled with bark mulch. All beds shall be covered with no less than 2" depth settled bark mulch and no greater than 3" depth bark mulch.
 - All plants are to be thoroughly watered after installation, at least twice within the first 24 hours.



Ilex glabra 'Shamrock' Inkberry



Fothergilla gardenii Dwarf Witch-Alder



Hydrangea quercifolia Oakleaf Hydrangea



Ilex crenata 'Convexa' Boxleaf Japanese Holly



Ilex x meserveae 'Blue Princess' Blue Holly



Spiraea japonica 'Little Princess' Japanese Spirea



Deutzia gracilis 'Duncan' Slender Deutzia



Acer palmatum var. dissectum 'Crimson Queen' Japanese Maple



Cornus 'Rutgan' Stellar Pink Dogwood



6' HT. Wood Board Fence Along Sides & Rear Property Lines



4' HT. Wood Picket Fence Along Front & Left Property Lines



Banded Bluestone Front Walk

ILLUSTRATIVE LANDSCAPE PLAN
137 SUMMER STREET
SOMERVILLE, MA
JULY 3, 2019

Basement Existing
Gross

1404 SF

The floor plan shows the 1st Floor Existing Gross Area, which is 1461 SF. It includes a large central area, a kitchen area, a bathroom, and two covered porches. The porches are labeled "Covered Porch 75 SF" and "Covered Porch 127 SF". The plan also shows stairs, restrooms, and a kitchen area.

2nd Floor Existing
Gross Area
1388 SF

UP

DN

Attic Existing Gross Area
314 SF

DN

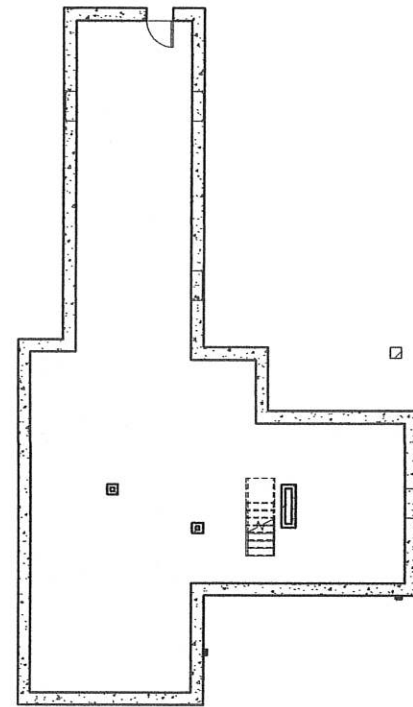
Area Schedule (Existing Gross Building)	
Name	Area
Basement Existing Gross	1404 SF
1st Floor Existing Gross Area	1461 SF
Covered Porch	127 SF
Covered Porch	75 SF
Existing Garage	410 SF
2nd Floor Existing Gross Area	1388 SF
Attic Existing Gross Area	314 SF
Grand total	5179 SF

The floor plan illustrates the 1st Floor Proposed Gross Area, which is a large, irregularly shaped space. The central area is labeled "1st Floor Proposed Gross Area" and "1551 SF". To the right of this central area, there are three distinct covered porches: a small "Covered Porch" (19 SF) at the top right, a medium "Covered Porch" (48 SF) in the middle right, and a large "Covered Porch" (127 SF) at the bottom right. The plan also shows various rooms, including what appears to be a kitchen area with a sink and stove, a bathroom, and several smaller rooms. Stairs are indicated by arrows and labels such as "UP" and "DOWN". The entire area is enclosed by a thick blue line, and the porches are outlined in blue.

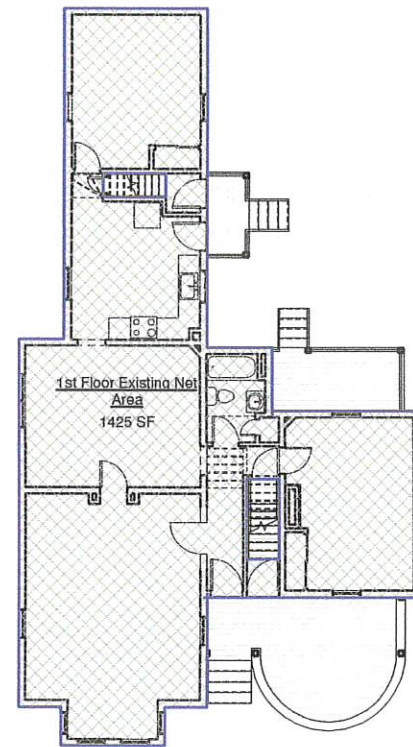
2nd Floor Proposed Gross Area
1630 SF

7/5/2019 10:46:04 AM

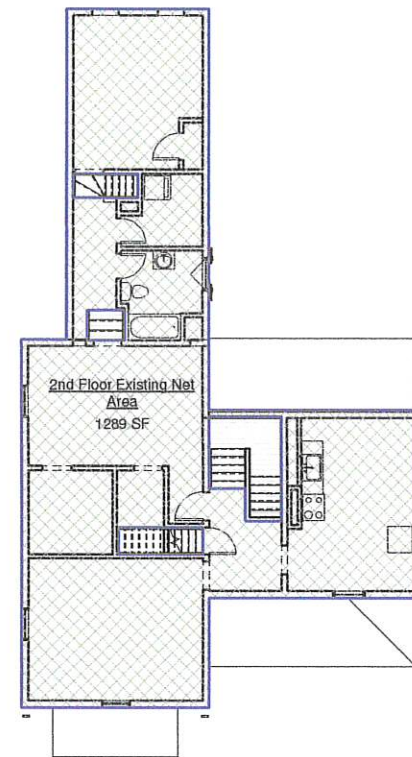
EXISTING:



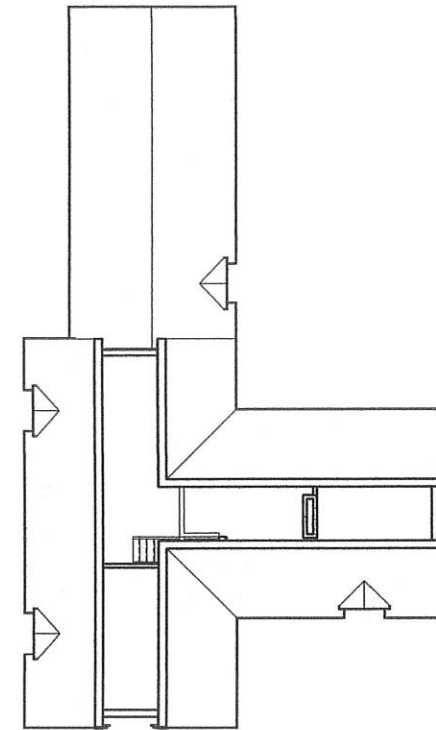
① BASEMENT
1/8" = 1'-0"



② 1ST FLR
1/8" = 1'-0"



③ 2ND FLR
1/8" = 1'-0"



④ ATTIC
1/8" = 1'-0"

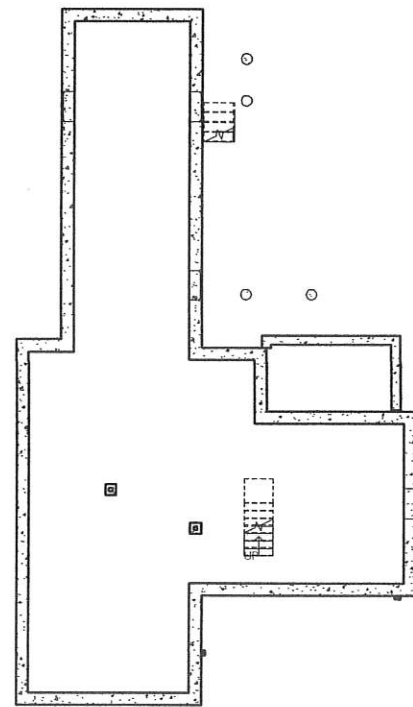
Area Schedule (Existing Net Area)	
Name	Area
1st Floor Existing Net Area	1425 SF
2nd Floor Existing Net Area	1289 SF
Grand total	2714 SF

$$\text{EXISTING FAR} = 2714 / 5772 = 0.470$$

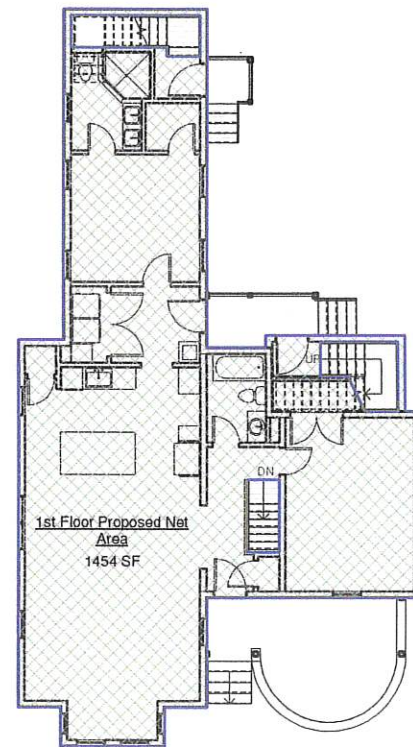
2.2.58 Floor area, net. The sum area of all floors or accessible levels of a building as measured to the perimeter of the exterior faces of the walls, including enclosed porches, but excluding areas used for accessory garage purposes, basement, and cellar, closet, and attic areas devoted exclusively to storage and mechanical uses accessory to the operation of the building, off-street loading facilities, malls, plazas, elevator shafts, escalators, stairways and stair landings, and those areas used for the storage, operation or maintenance of mechanical equipment such as air conditioning and heating apparatus.

2.2.59 Floor area ratio (FAR). In all zones except TOD and CCD, FAR is the ratio of the net floor area of a building to the total area of the lot it is located upon, except that portion of a structure used as an accessory use child care facility is exempted from the floor area ratio (FAR) calculation, and the allowable floor area of such structure shall be increased by an amount equal to the floor area of the child care facility up to a maximum of ten (10) percent, provided the requirements of M.G.L. Chapter 40A, Section 3 are also met.

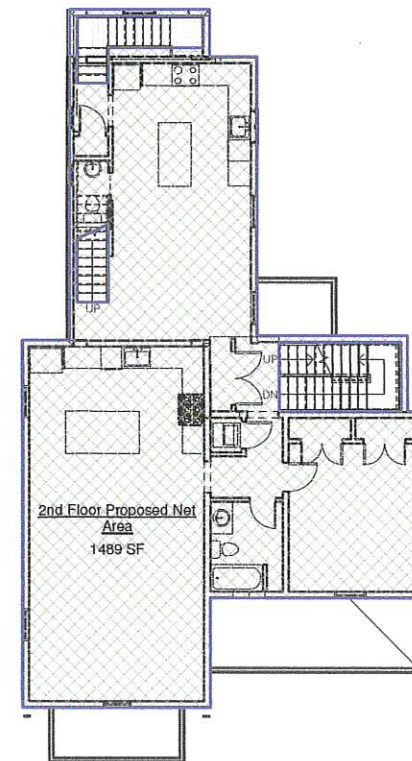
PROPOSED:



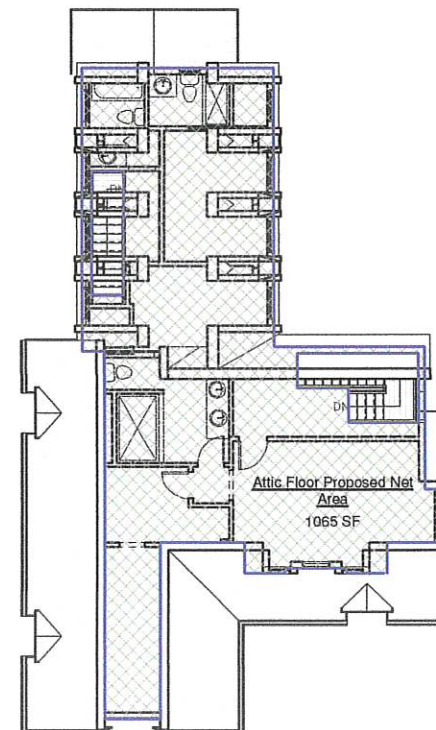
⑤ BASEMENT
1/8" = 1'-0"



⑥ 1ST FLR
1/8" = 1'-0"



⑦ 2ND FLR
1/8" = 1'-0"



⑧ ATTIC
1/8" = 1'-0"

Area Schedule (Proposed Net Area)	
Name	Area
1st Floor Proposed Net Area	1454 SF
2nd Floor Proposed Net Area	1489 SF
Attic Floor Proposed Net Area	1065 SF
Grand total	4007 SF

$$\text{PROPOSED FAR} = 4007 \div 5772 = 0.69$$

MULTIFAMILY
RESIDENTIAL
RENOVATION
137 SUMMER ST.
SOMERVILLE, MA

STEFANOV ARCHITECTS

423 WEST BROADWAY, SUITE 404
BOSTON, MA 02127

617.765.0543

INFO@STEFANOVARCH.COM

[illegible]

NET AREA PLANS

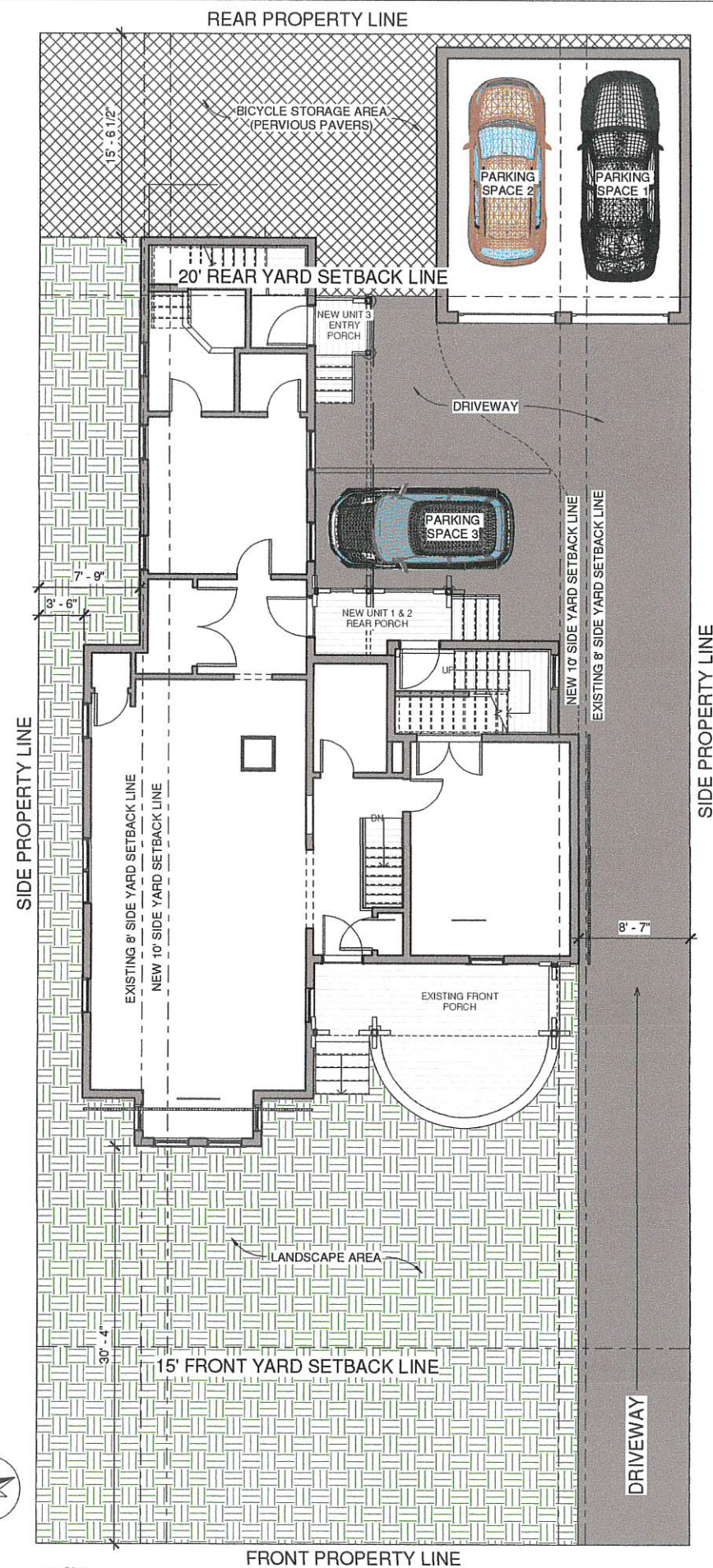
Project number	181204
----------------	--------

Date	2019-07-05
------	------------

Drawn by	JMB
----------	-----

-A0.02

Scale	1/8" = 1'-0"
-------	--------------



① Site
 $3/16" = 1'-0"$

PROPOSED GROUND GROUND COVERAGE

$$2254 / 5772 = 0.3196 = 39.1\%$$

2.2.64 Ground Coverage Ratio. The percentage of lot area included within the outside lines of the exterior walls of all buildings located on the lot, except garages and carports in districts RA and RB, but including the area of porches, decks, breezeways, balconies and bay windows, except patios not more than six (6) inches above grade.

PROPOSED PERVIOUS AREA

$$2277 / 5772 = 0.3917 = 39.4\%$$

2.2.110 Open Space. Land area uncovered by buildings, roads, driveways and parking areas, or other accessory manmade structures not meeting the definition of landscaping set forth in the Article

PROPOSED LANDSCAPE AREA

$$1742 / 5772 = 0.3018 = 30.2\%$$

2.2.82 Landscape Area. The percentage of lot area that shall be maintained as space with landscaping, which space shall not include lot area used for parking, loading, access drives, or other hard surface areas, except in accordance with Article 10

MULTIFAMILY
RESIDENTIAL
RENOVATION
137 SUMMER ST.
SOMERVILLE, MA

STEFANOVARCHITECTS

423 WEST BROADWAY, SUITE 404
BOSTON, MA 02127

617.765.0543

INFO@STEFANOVARCH.COM

[illegible]

SITE PLAN / CALCULATIONS

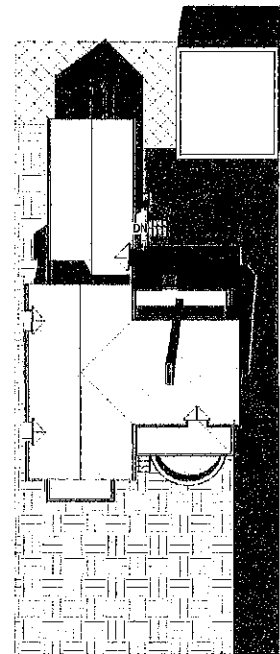
Project number	181204
Date	2019-07-05
Drawn by	JMB
Checked by	DJS

-A0.03

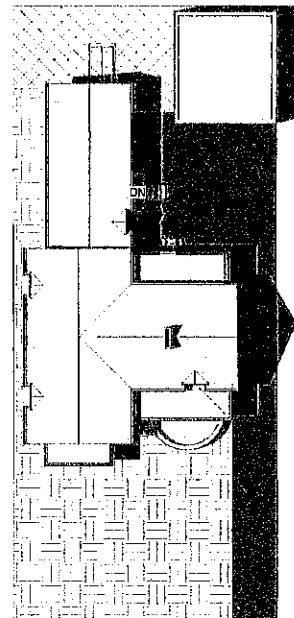
Scale	$3/16" = 1'-0"$
-------	-----------------

© 2000 Blackwell Science Ltd, *Journal of Internal Medicine* 247: 395–401

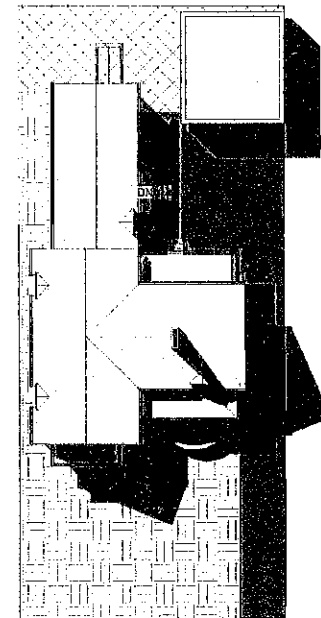
③ EXISTING SHADOWS 8 AM
1/16" = 1'-0"



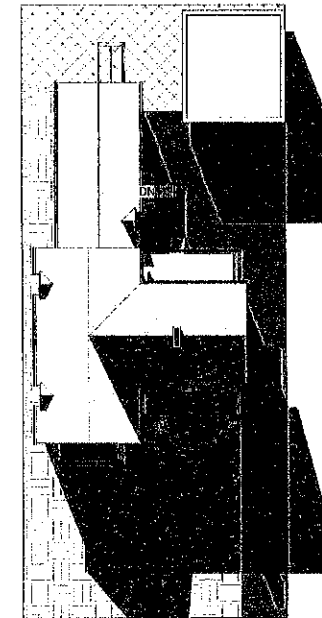
② EXISTING SHADOWS 10 AM
1/16" = 1'-0"



③ EXISTING SHADOWS 12 PM
1/16" = 1'-0"

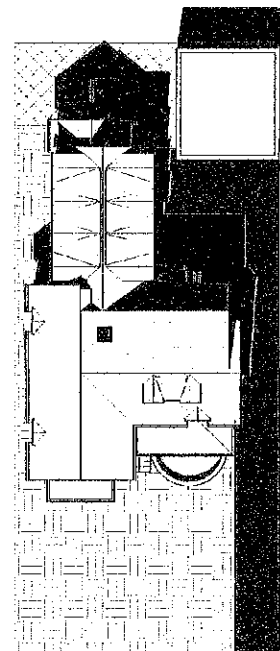


④ EXISTING SHADOWS 2 PM
1/16" = 1'-0"

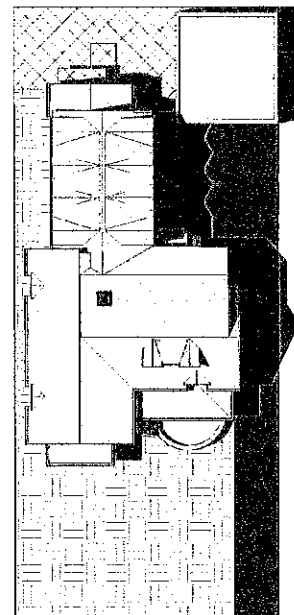


⑤ EXISTING SHAFT WAS 4 PM
1/16" = 1'-0"

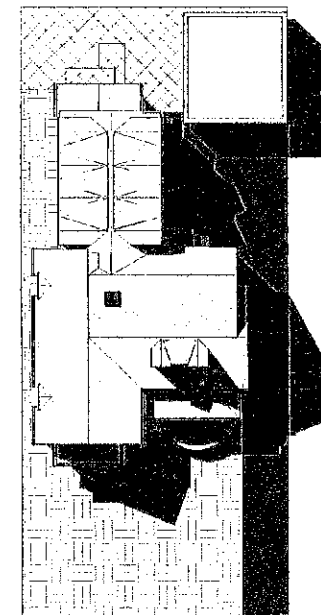
⑥ PROPOSED SHADOWS 8 AM
1/16" = 1'-0"



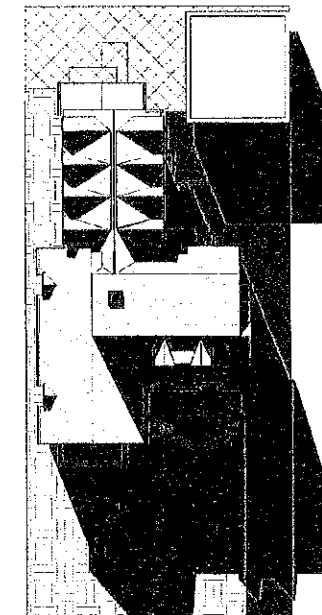
⑦ PROPOSED SHADOWS 10 AM
1/16" = 1'-0"



8 PROPOSED SHADOWS 12 PM
1/16" = 1'-0"



9 PROPOSED SHADOWS 2 PM
1/16" = 1'-0"



10 PROPOSED SHADOWS 4 PM
1/16" = 1'-0"

[illegible]

Scale $1/16" = 1'-0"$

10/10/2019

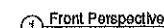
4333

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
---	---	---	---	---	---	---	---	---	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	-----

② Proposed Side Elevation 2
1/4" = 1'-0"

•

INFO@STEFANOVARCH.COM

Scale

② Rear Perspective